



DATE: March 16, 2017
TO: Design Review Committee (DRC)
FROM: Artemio Hoyos, Case Planner
RE: P17VA00004 Tucson Northwest Storage - Gateway

Applicant: David Williams, Urban Engineering
Owner: King Cone LLC
Parcels: #222-21-0600, 222-21-0610, 222-21-0650

I. APPLICANT REQUEST

The applicant requests DRC approval of a preliminary development plan within the Gateway Overlay Zone for a recreational vehicle (RV) storage facility expansion near N. Oracle Road in Catalina.

II. DRC Authority

Proposed development plans in the Gateway Overlay Zone shall be reviewed by the DRC as authorized in the Pima County Zoning Code (18.78.040.A).

III. Staff Recommendation

Staff recommends **approval** of the Tucson Northwest Storage - Gateway preliminary development plan with the following conditions:

1. Preliminary development plan shall be implemented as approved by the DRC.
2. A note shall be placed on the preliminary development plan that the DRC approval expires concurrently from the date of the tentative Board of Supervisors rezoning approval.
3. All awnings (shade structures) will be painted in one of the alternative paint colors provided by the applicant in the submittal package. The selected color shall be earth-toned and have a light reflective value (LRV) of 48% or less.
4. Applicant shall provide staff with one hardcopy and one electronic copy of the approved DRC documents for staff sign-off in compliance with the DRC decision.

IV. BACKGROUND

The applicant is in the process of rezoning the 3.52-acre site from the SH (Suburban Homestead) zone to the CB-2 (General Business) zone to allow for RV and operable vehicle storage. The vehicle and RV storage is an expansion of the existing and adjacent RV and self-storage development to the north. The expansion site is not visible from the Oracle Road right-of-way, but located behind existing commercial buildings. Nearby properties on the west side of Oracle Road are bounded by State Land. On September 28, 2016 the Planning & Zoning (P&Z) Commission recommended approval of the rezoning request for subject properties and expansion development plan. [The P&Z Commission Staff Report \(P16RZ00009\)](#) is linked for additional background information.

V. STAFF ANALYSIS

The site is designed to mitigate potential visual impacts through buffering and screening. A 10' wide bufferyard "D" with a 6-foot-high masonry wall is proposed along the south and west property boundaries. Both bufferyards meet the County's Landscape Design Manual standards. A plant key was provided on the Landscape Plan sheet. All plant species are in compliance with the Buffer Overlay Zone Plant List. No other bufferyards are required. The applicant is proposing to utilize the existing Oleander hedges for continued buffering to the residential mobile home park to the south. An existing Oleander hedge will also be preserved on the northeast property line; and dense native vegetation on the eastern portion of the property will remain to screen the adjacent businesses fronting Oracle Road. Very little native vegetation exists on the graded property. Some plants will be transplanted on site. No viewsheds will be significantly impacted by the project.

No buildings are planned for this development. An existing garage located near the southwest corner of the site will remain. The shade cover structures or awnings will have a maximum height of 15'. Photographs and elevations of the shade structures are provided in the package. The proposed color for the awning is Plateau, however it exceeds the allowable LRV of 48%. Staff recommends that the applicant use one of the alternative paint selections that was provided, such as Canyon Dusk (37.12%), Suede Beige (39.03%), or Rugged Tan (38.08%) on the awnings and all exposed exterior walls. Visible exterior colors should complement and blend with the surrounding natural desert and development landscape.

Approximately 100 - 45' and 20 - 35' vehicle storage spaces will be provided. Total area of covered, under roof parking is 71,041 sf., or 1.63 acres. The site will be connected to existing storage facilities and will share a 30' driveway easement that currently provides access to and from Oracle Road. Parking spaces are designed diagonally to allow for efficient maneuvering. Additionally, 30' wide access lanes within the storage development will improve on-site circulation flow by allowing traffic to flow in both ways.

No new signs will be installed.

VI. OTHER AGENCIES

Pima County Departmental review and comments were provided for the September 28, 2016 Planning & Zoning (P&Z) Commission meeting. Comments can be viewed through the linked P&Z Commission Staff Report.

VII. Public Comment

A neighborhood meeting was held on September 13, 2016 at the First Plaza Storage Offices, 15631 N. Oracle Road. The meeting was attended by one member of the public. A summary of the meeting is attached to this report.



February 8, 2016

Pima County Development Services Department
Planning Division
201 North Stone, 2nd floor
Tucson, AZ 85701
(520) 724-9000

Planning

Engineering

Surveying

**Re: Tucson Northwest Storage
DRC Pre-Application
U/E Project No. 15081**

Dear Design Review Committee:

I am writing to summarize the design components for an expansion of Tucson Northwest Storage's RV storage facilities, located in the Gateway Overlay Zone in Catalina, AZ. Interestingly, the subject property and the planned improvements are not and will not be visible from Oracle Road, the Gateway intended to be protected and enhanced by the Gateway Overlay Zone. We are respectfully requesting that the Design Review Committee approve the design being presented within this application.

1. Parking and Circulation

The site consists of a recreational vehicle storage lot. Onsite circulation enables traffic to flow in both directions with an access lane width of 30 feet and parking spacing designed diagonally to allow for efficient and effective maneuvering. The site will be connected to existing storage facilities and will share a common driveway providing access to the site and Oracle Road.

2. Landscaping

Not much native vegetation exists on this previously graded property. The current landscape plan provides for both the preservation in place of native species, transplantation on site and the enhancement of bufferyards along the south and west property lines. The eastern portion of the property is screened by a dense stand of native vegetation (mostly off site) that is required to remain intact and allow for screening between uses. The site is not visible from Oracle Road. The southern border's bufferyard will maintain the 10 foot and greater row of oleanders and allow for native species to be strategically allocated to provide soil stabilization, provide additional screening between the site and the mobile home park to the south.

877 S. Alvernon Way

Tucson, AZ 85711

Phone 520.318.3800

FAX 520.318.3808



3. Site Design

The site is designed similarly to the existing storage facility to the north, is responsive to the surrounding land uses, where appropriate, and seeks to mitigate potential visual impacts through screening and buffering. It is a commercial site surrounded by commercial uses and an older mobile home park which has no screening or buffering on its site. The site design meets a clear need of the community for a safe and convenient RV storage use while ensuring adjacent properties are screened or buffered where appropriate. The land uses to the north are self-storage facilities and RV storage. The site is an expansion or phase 2 of the existing RV storage for which the community has shown a need (the property owner has a waiting list of over 50 households desiring RV storage). The site is designed to conserve water by incorporating best practices in landscape design, depressing landscaped bufferyards, and adding only drought tolerant plant species.

4. Signs

No new signs will be constructed or placed as the site is an expansion to an existing commercial business of storage facilities.

5. Architectural Design

No buildings are to be constructed with this application. About 70% of the parking spaces will have a 15 foot awing installed to provide shade. Photos of the planned awnings are included in this application package. The awnings have earth tone, beige, covers and white posts. Awning height of 15 feet will be consistent with the surrounding area.

This project is essentially an expansion of the existing RV storage facilities to the north of the site. Its design will conform to the intent and purpose of the Gateway Overlay Zone development standards.

If you have any questions or concerns, please feel free in contacting me at dwilliams@urbanengineering.com or 520-318-3800. Thank you!

Sincerely,

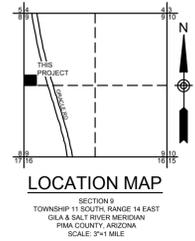
URBAN ENGINEERING, INC.

A handwritten signature in black ink that reads "David Williams". The signature is written in a cursive, flowing style.

David A. Williams, AICP
Vice President Planning / Project Manager

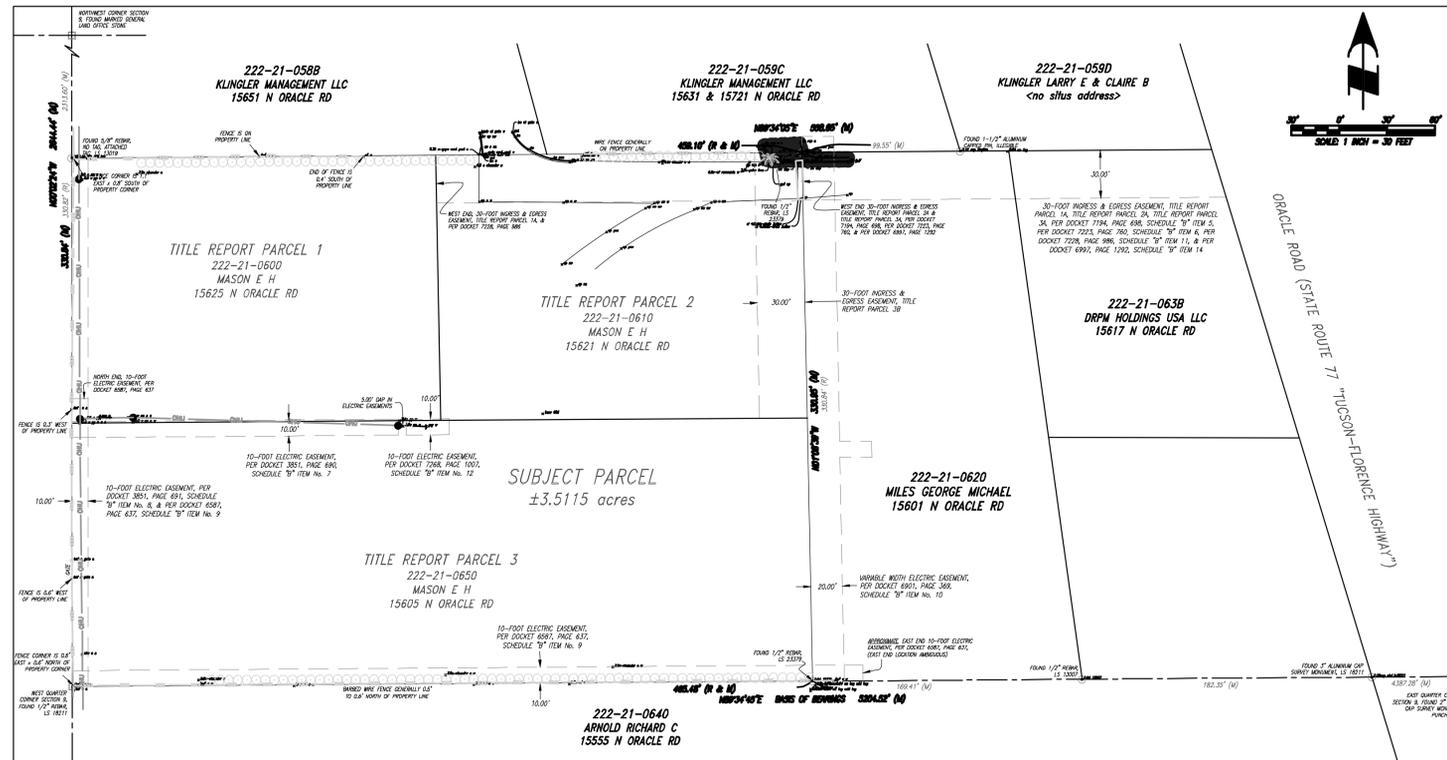
PRIVATE PAVING/GRADING/PRESERVATION IMPROVEMENT PLANS FOR TUCSON NORTHWEST STORAGE

P16R-Z00009



GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS AND TEST METHODS SHALL BE IN CONFORMANCE WITH THE PIMA COUNTY / CITY OF TUCSON STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS (PC/COT SSPI) 2003 EDITION, EXCEPT AS SPECIFICALLY MODIFIED.
- UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTENCE OF ALL UTILITIES BY CALLING "BLUE STAKE" AT 1-800-782-5348, 48 HOURS PRIOR TO CONSTRUCTION.
- AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT SSPI SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSPI SECTION 406, MIX #2 SPECIFICATIONS. (SUBDIVISION MIX 4% VOIDS AND MAGEE ROAD ARTERIAL MIX 5.5% VOIDS)
- ALL CONCRETE SHALL COMPLY WITH PC/COT SSPI SECTION 1006 CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACT SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY DEVELOPMENT AGENCIES.
- A COPY OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
- A QUALIFIED REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO REQUEST FOR FINAL INSPECTION/ CERTIFICATE OF OCCUPANCY OR THE RELEASE OF ASSURANCE, OR MODULAR PERMITS.
- ALL WORK SHALL CONFORM TO GRADING STANDARDS, CHAPTER 18.81 OF THE PIMA COUNTY ZONING CODE.
- COMPACTION IN ALL GRADED AREAS SHALL BE A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH THE REQUIREMENTS OF ARIZONA TEST METHODS 225, 226, AND 227. ANY AREA REQUIRING FILL SHALL BE SCARIFIED TO DEPTH OF 6", BROUGHT TO THE PROPER MOISTURE CONTENT AND COMPACTED TO THE ABOVE DENSITY. AREA SOURCE FOR FILL MATERIAL IF REQUIRED SHALL BE APPROVED BY OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- ALL IMPROVEMENT LINE AND GRADE LEVELS BE ESTABLISHED (STAKED) PRIOR TO ACTUAL CONSTRUCTION OF THE WORK AS SHOWN AND NOTED ON THE PLANS. ALL SITE STAKING SHALL BE PERFORMED BY CONTRACTOR PROPERLY QUALIFIED TO DO SUCH WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE REPAIR OR REPLACEMENT OF ANY EXISTING SITE IMPROVEMENT WHICH IS DAMAGED DURING THE CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SUPPLY, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL COORDINATE WITH ARIZONA DEPARTMENT OF TRANSPORTATION (ADOT) AND ALL OTHER APPLICABLE GOVERNMENT AGENCIES FOR ALL WORK SHOWN IN PUBLIC RIGHT-OF-WAY. ANY ADDITIONAL FEES OR SEPARATE PERMITS REQUIRED FOR THIS WORK SHALL BE THE RESPONSIBILITY OF CONTRACTOR AND SHALL BE INCLUDED IN THE BID AMOUNT.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
- ALL STREETS SIGNING SHALL BE DESIGNED AND INSTALLED TO CURRENT ADOT STANDARDS. THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE ADOT SIGNING MANUAL ARE TO BE THE REFERENCES FOR SIGNING DESIGN AND INSTALLATION.
- WHEN REMOVED, EDGE LINE STRIPING (WS6) AT THE ENTRANCE(S) OF THE PROJECT AND WHEREVER APPLICABLE, SHALL BE REINSTALLED TO CURRENT ADOT STANDARDS BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE.
- ALL STREET STRIPING AND SIGNING WORK SHALL BE COORDINATED WITH ADOT PRIOR TO INSTALLATION AND BEFORE OPENING STREETS TO THE PUBLIC. ALL INSTALLATION THAT DO NOT MEET ADOT STANDARDS SHALL BE REPLACED BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE.
- DURING THE CONSTRUCTION REFER TO THE GEOTECHNICAL INVESTIGATION REPORT.
- NATIVE PLANTS MUST BE FLAGGED AND PROTECTIVE FENCING MUST BE INSTALLED AS REQUIRED BY THE NATIVE PLANT PRESERVATION PLAN PRIOR TO ANY GRADING.
- WALLS, FENCES, AND STRUCTURES REQUIRE A BUILDING PERMIT.



KEY MAP

SCALE 1"=50'
(FROM PLS SURVEY 11/23/2015)

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS PROJECT IS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 11 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA. SAID BEARING BEING NORTH 89°34'45" EAST.

OWNER/DEVELOPER

CLAIRE AND LARRY KLINGLER
3900 W. MOORE ROAD
TUCSON, ARIZONA 85742

CIVIL ENGINEER

URBAN ENGINEERING, INC.,
877 S. ALVERNON WAY #200
TUCSON, ARIZONA 85711

SHEET INDEX

- | | |
|---------|------------------|
| 1. | COVER |
| 2. | SITE LAYOUT |
| 3. | GRADING |
| 4. | PAVING |
| 5. | DRAINAGE DETAILS |
| 6. | PRESERVATION |
| 7. | LANDSCAPE |

LEGEND

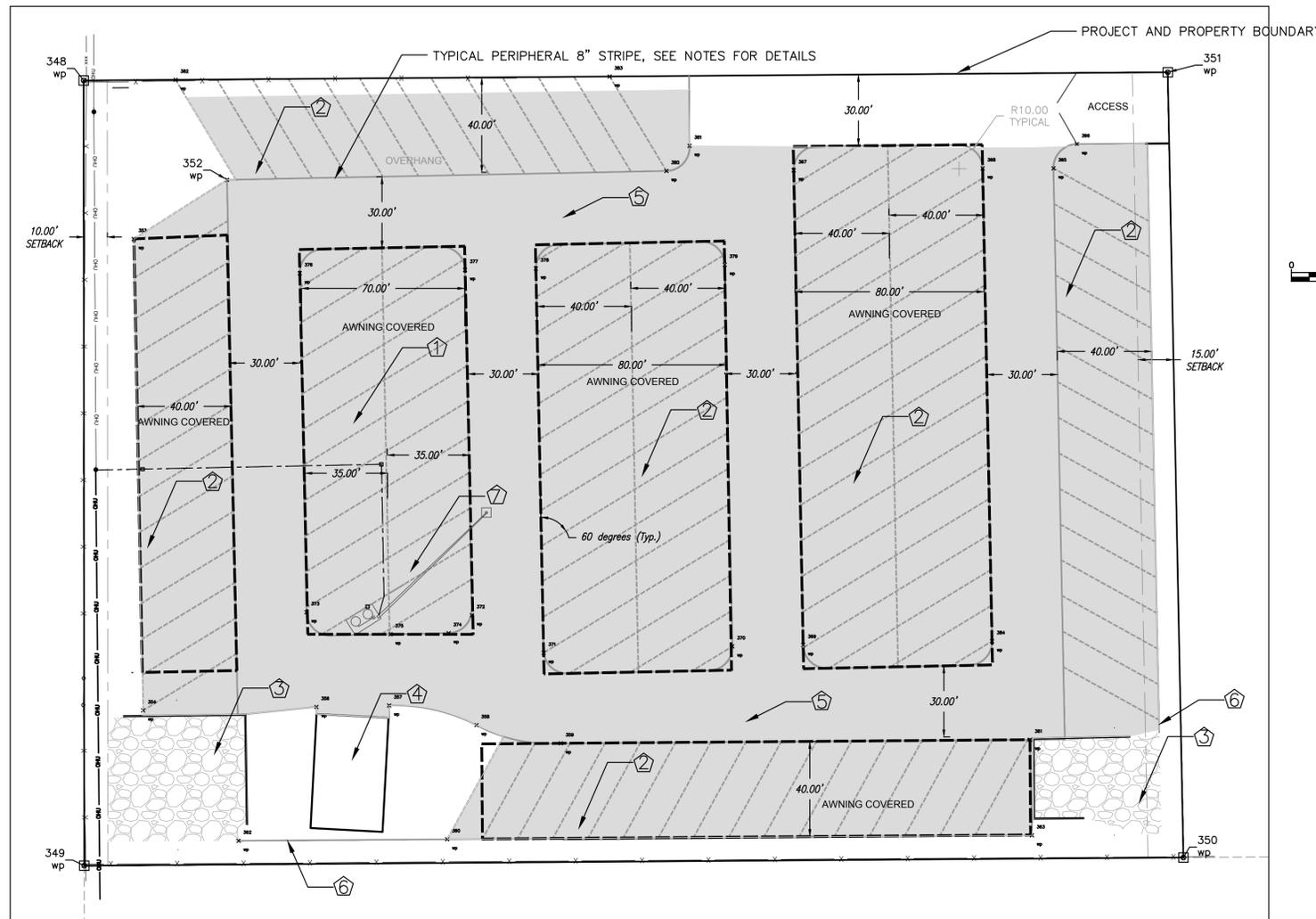
- 1/2" IRON PIN FOUND
- 1/2" IRON PIN SET WITH DYE DVPT CAP
- FOUND TXDOT BRASS MONUMENT
- FENCE POST
- EXISTING WOOD FENCE
- EXISTING VINYL FENCE
- EXISTING BARBED WIRE FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- C.M. CONTROLLING MONUMENT
- 600 EXISTING CONTOUR
- 600.0 PROPOSED CONTOUR
- x EXISTING SPOT ELEVATION
- x 600.0 PROPOSED SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- ⊗ EXISTING GATE VALVE
- ⊗ PROPOSED GATE VALVE
- CONCRETE SURFACE
- ⊙ BENCHMARK

ACCEPTED

PIMA COUNTY DEVELOPMENT SERVICES

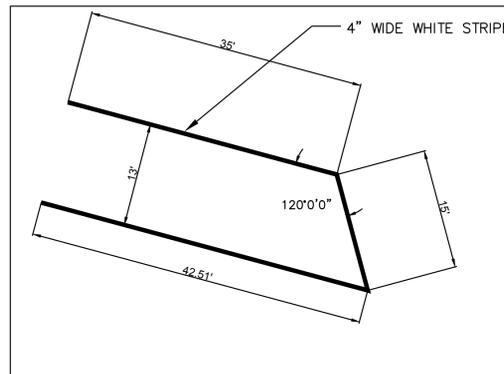
P16R-Z00009

		DESIGNED: 877 S. Alvernon Way Tucson, AZ 85711 520.318.3800	
DEVELOPMENT PLANS COVER TUCSON NORTHWEST STORAGE A PORTION OF THE NORTHWEST QUARTER OF SECTION 9 TOWNSHIP 11 SOUTH, RANGE 14 EAST GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, AZ			
NO.	REVISION	DATE	SHEET
DESIGNED:	AV-BC	DRAWN:	AV-R
DATE:	12/16/2016	CHECKED:	DW
PROJECT NO.:	15081	SCALE:	SEE PLAN
			1 OF 7

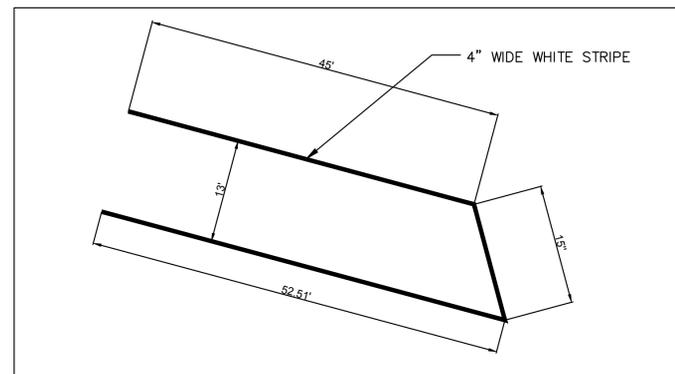


GENERAL SITE LAYOUT

1"=30'

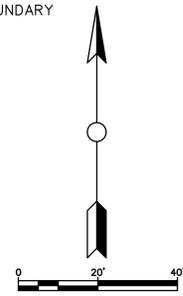


TYPICAL 35' PARKING *
1"=5'



TYPICAL 45' PARKING *
1"=5'

* SEE NOTES FOR STRIPING DETAILS



KEY NOTES

- 1) 35' PARKING SPACES (SEE DETAIL THIS SHEET)
- 2) 40' PARKING SPACES (SEE DETAIL THIS SHEET)
- 3) EAST AND WEST DETENTION/RETENTION PONDS
- 4) STORAGE/SHOP BUILDING (TO REMAIN)
- 5) NEW PAVEMENT
- 6) NEW 6' CMU WALL
- 7) RELOCATE WATER WELL FACILITIES INTO NEW CHAINLINK ENCLOSURE

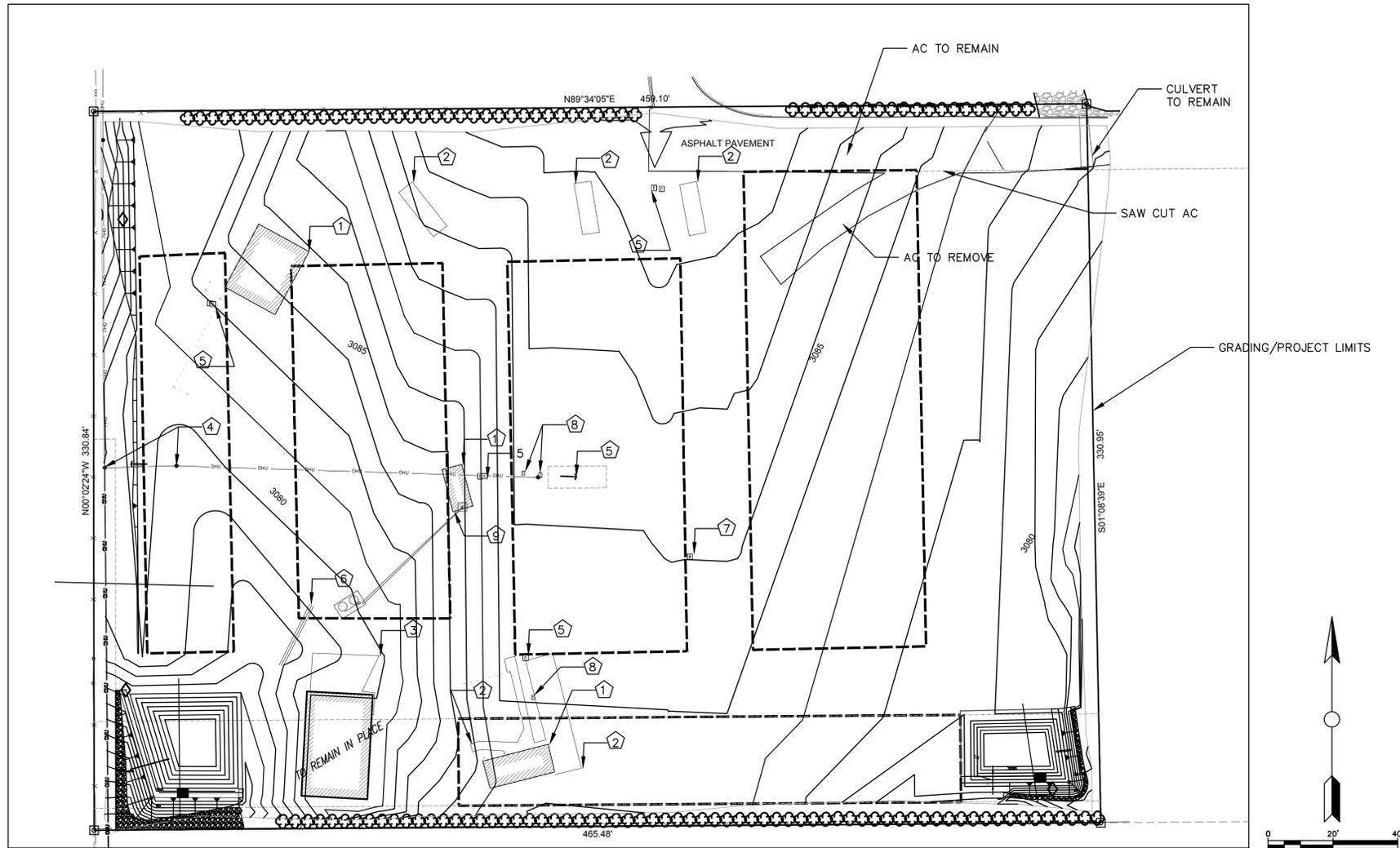
NOTES

- a. THERE ARE NO BUILDINGS IN THIS PROJECT. A PORTION OF THE RV STORAGE SPACES WILL HAVE SHADE COVER STRUCTURES OR AWNINGS. AREA OF COVERED PARKING (UNDER ROOF) IS 71,041 SQUARE FEET.
- b. THE SHADE COVER STRUCTURES OR AWNINGS WILL HAVE A MAXIMUM HEIGHT OF 15 FEET.
- c. THERE ARE NO DWELLINGS OR UNITS IN THIS PROJECT, NOW SEWER.
- d. AS THERE ARE NO DWELLINGS OR UNITS ON THIS PROJECT, THERE WILL BE NO RESIDENTS.
- e. APPROXIMATELY 100 - 45' AND 20-35' RV STORAGE SPACES.
- f. NEW LANDSCAPING WILL INCLUDE ONLY DRAUGHT TOLERANT, NATIVE PLANT MATERIALS. EXISTING OLEANDER BUSHES ALONG THE SOUTH PROPERTY LINE WILL REMAIN, SEE PLANT PRESERVATION AND LANDSCAPING PLANS.
- g. THERE WILL BE NO NATURAL OR FUNCTIONAL OPEN SPACE OR RECREATION AREAS AS THE USE IS A VEHICLE STORAGE LOT. LANDSCAPE BUFFER YARDS WILL BE PROVIDED ALONG THE SOUTH AND WEST PROPERTY LINES.
- h. THE SITE WILL BE SCREENED AND SECURED WITH A 6-FOOT MASONRY WALL. THE RENTAL OFFICE FOR THE RV STORAGE FACILITY IS LOCATED OFF-SITE IN THE ADJACENT RETAIL CENTER ON ORACLE ROAD AT 15631 NORTH ORACLE ROAD.
- i. STRIPING SHOULD BE 4" WHITE FOR PARKING SPACES AND 8" WHITE FOR THE PERIPHERAL BOUNDARY LINES. PAINT SHALL BE 15 MIL THICK WHEN FINISHED, USE ALKYD PAINT OR SIMILAR.

Point Table			
Point #	Raw Description	Northing	Eastings
348	wp	23652.4126	27625.7442
356	wp	23388.4293	27724.3127
349	wp	23321.5708	27625.9745
350	wp	23324.9890	28091.4396
351	wp	23655.8746	28084.8311
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354	wp	23386.9636	27650.9262
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357	wp	23389.0455	27755.0764
358	wp	23380.7809	27792.0777
359	wp	23373.1126	27827.8304
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362	wp	23332.0510	27691.3277
363	wp	23334.3321	28027.3061
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365	wp	23615.3843	28036.4419
366	wp	23625.5837	28046.3645
367	wp	23614.5547	27926.4366

WORK POINTS

	DESIGNED: Urban Engineering 877 S. Alvernon Way Tucson, AZ 85711 520.318.3900	
	DEVELOPMENT PLANS SITE LAYOUT TUCSON NORTHWEST STORAGE A PORTION OF THE NORTHWEST QUARTER OF SECTION 9 TOWNSHIP 11 SOUTH, RANGE 14 EAST GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, AZ	
NO. _____ REVISION _____ DATE _____	DESIGNED: AV - BC DATE: 12/16/2016	DRAWN: AV - R PROJECT NO.: 15081 CHECKED: OW SCALE: SEE PLAN SHEET: 2 OF 7



KEY NOTES

- 1) DEMOLISH AND REMOVE STRUCTURE AND FOUNDATIONS
- 2) DEMOLISH AND REMOVE CONCRETE SLAB
- 3) DEMOLISH AND REMOVE CONCRETE APRON, PROTECT EXISTING STRUCTURE
- 4) REMOVE OVERHEAD ELECTRIC LINE AND POWER POLES-SETUP FOR UNDERGROUND POWER LINE TO WELL WITH POWER DROP AT THE WEST MOST POWER POLE AS INDICATED.
- 5) REMOVE ELECTRICAL INSTALLATIONS
- 6) REMOVE 24" RCP
- 7) REMOVE WATER SERVICE (ALL LOCATIONS)
- 8) DISCONNECT AND REMOVE PHONE LINES (ALL LOCATIONS)
- 9) DISCONNECT WELL HEADER AND TANKS, ADJUST WELL CASING, INSTALL WELL HEAD TRAFFIC RATED VAULT BOX AND PIPE, REINSTALL WELLHEAD AND TANKS INSIDE A 6' CHAIN LINK ENCLOSURE WITH MAN-GATE.

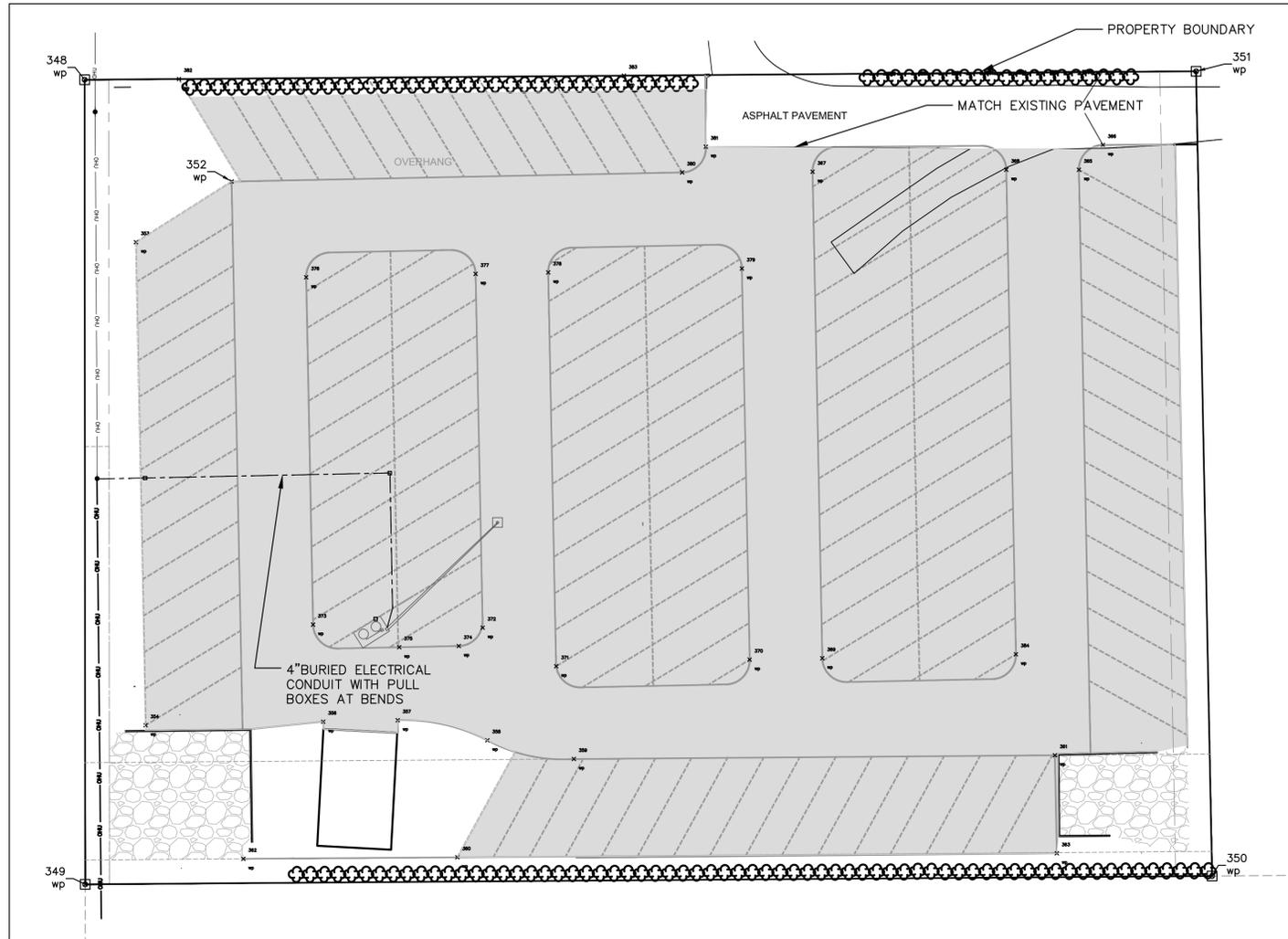
SITE GRADING AND DEMOLITION

1"=30'

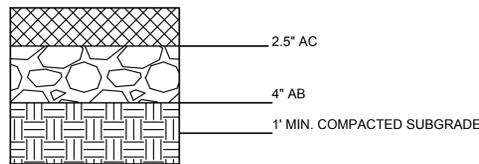
NOTES:

- 1) REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- 2) ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- 3) CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND COORDINATING DISCONNECTION OF ALL UTILITIES SERVING THE EXISTING SITE WITH THE APPROPRIATE UTILITY COMPANY AND SHALL OBTAIN APPROVAL FROM THE SAME TO COMMENCE DEMOLITION ACTIVITIES.
- 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLUGGING, CAPPING, OR OTHERWISE TERMINATING UTILITY SERVICE LINES AT EXISTING METER LOCATIONS, CLEANOUTS, ETC.
- 5) REMOVE AC AND ANY OTHER BASE COURSE MATERIALS FROM GRADE
- 6) WORK INCLUDES CLEARING AND GRUBBING OF THE SITE, REMOVAL OF VEGETATION AS SHOWN IN THE PRESERVATION PLAN SHEET NO. 5 AND TRASH.

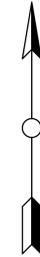
		DESIGNED: Urban Engineering 877 S. Alvernon Way Tucson, AZ 85711 520.318.3800	
		DEVELOPMENT PLANS GRADING TUCSON NORTHWEST STORAGE A PORTION OF THE NORTHWEST QUARTER OF SECTION 9 TOWNSHIP 11 SOUTH, RANGE 14 EAST GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, AZ	
NO.	REVISION	DATE	SHEET
			3 OF 7
DESIGNED: AV - BC DATE: 12/16/2016		DRAWN: AV - R CHECKED: DW PROJECT NO.: 15081 SCALE: SEE PLAN	



PAVING PLAN
SCALE 1"=30'

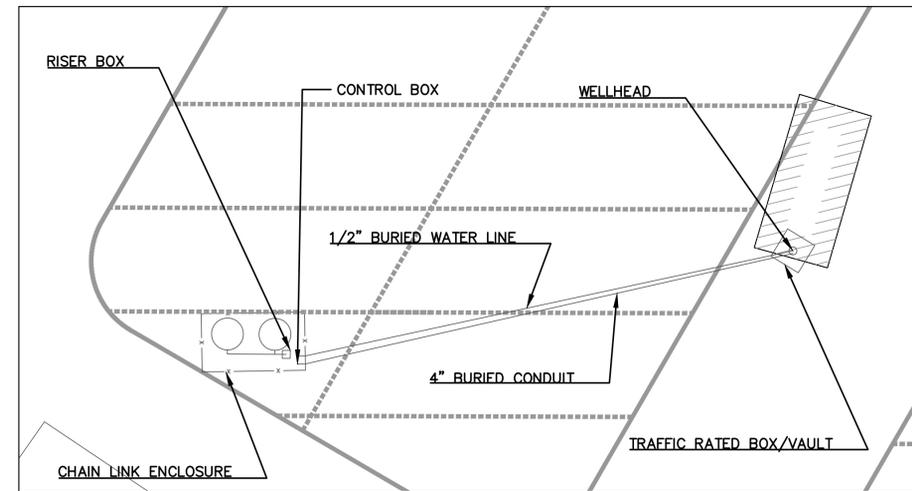


PAVEMENT SECTION
NTS



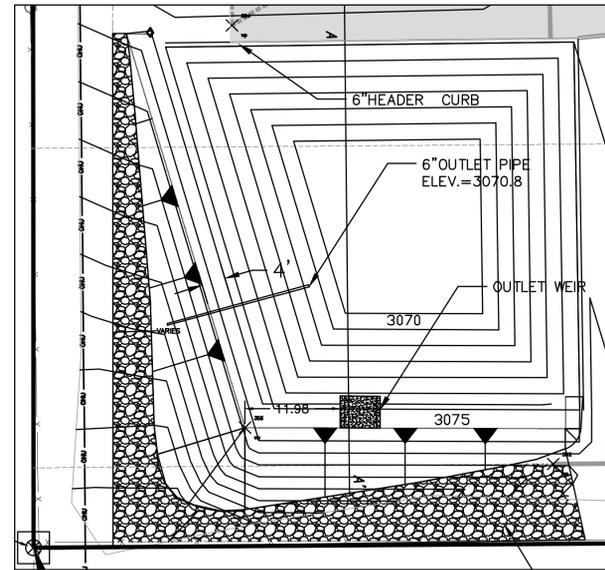
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355	wp	23336.5953	27652.5604
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360	wp	23332.7000	27779.7075
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WORK POINTS



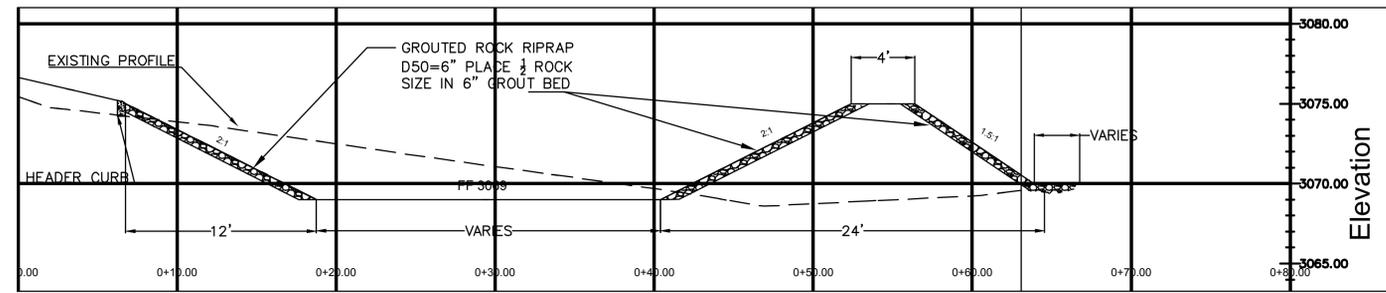
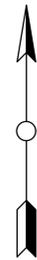
WELL ENCLOSURE DETAILS
SCALE 1"=10'

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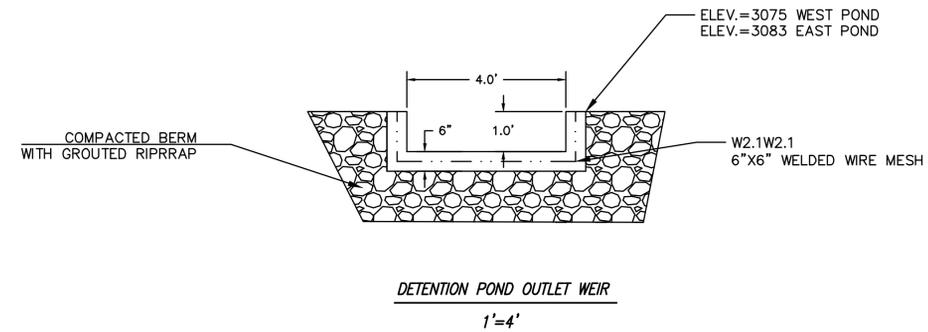


WEST POND
1" = 10'

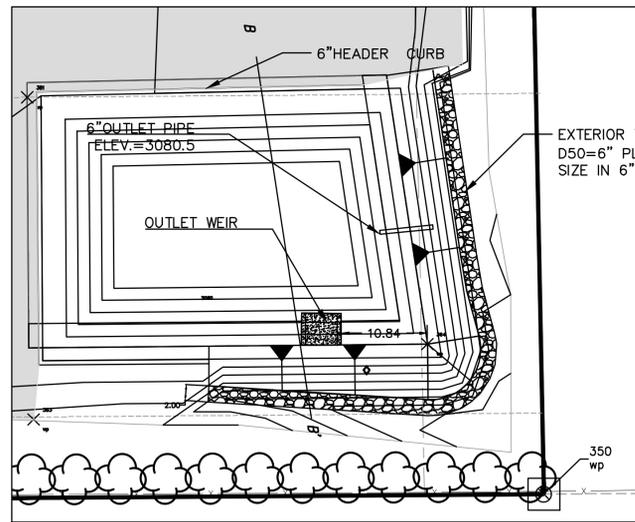
EXTERIOR TOE GROUDED ROCK RIPRAP
D50=6" PLACE 1/2 ROCK
SIZE IN 6" GROUT BED



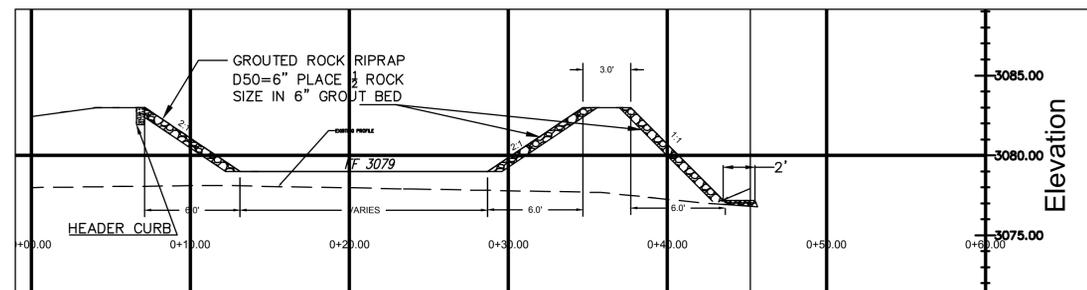
WEST POND SECTION A-A'
1" = 5'



DETENTION POND OUTLET WEIR
1" = 4'



EAST POND
1" = 10'



EAST POND SECTION B-B'
1" = 5'



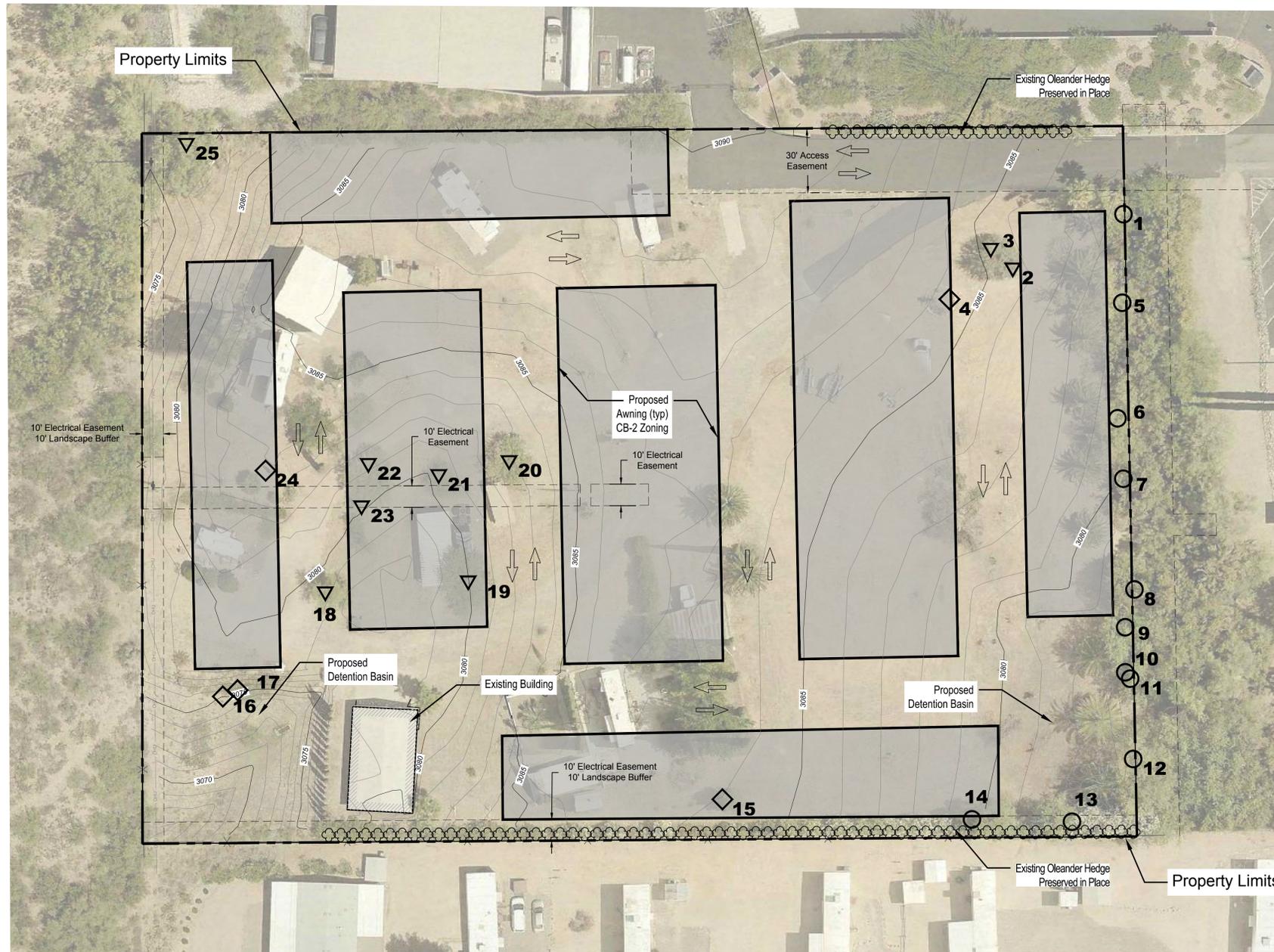
DESIGNED: **Urban Engineering**
877 S. Alvarado Way
Tucson, AZ 85711
520-318-3900

DEVELOPMENT PLANS
DRAINAGE DETAILS
TUCSON NORTHWEST STORAGE
A PORTION OF THE NORTHWEST QUARTER OF SECTION 9
TOWNSHIP 11 NORTH, RANGE 14 EAST
GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, AZ

NO.	REVISION	DATE

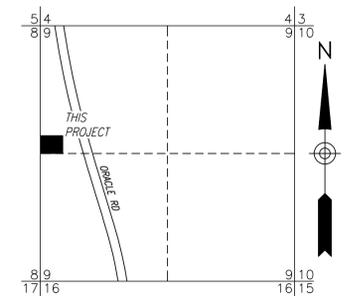
DESIGNED: AV - BC	DRAWN: AV - R	CHECKED: DW	SHEET
DATE: 12/16/2016	PROJECT NO.: 15081	SCALE: SEE PLAN	5 OF 7

NOTICE OF DRAWING AUTHORIZATION: THIS DRAWING IS A COPYRIGHT PROTECTED DOCUMENT PRODUCED BY COMPUTER AIDED DESIGN AND DRAFTING TECHNIQUES. MULTIPLE AND/OR UNAUTHORIZED COPIES OF DRAWING DATA FILES MAY EXIST. ANY USE, REUSE OR MODIFICATION OF THE DRAWING OR ITS DATA FILES WITHOUT THE APPROPRIATE AUTHORIZED SIGNED, REGISTERED, LANDSCAPE ARCHITECT'S AND WRITER'S VERIFICATION BY NOVAK ENVIRONMENTAL IS PROHIBITED AND WILL BE AT THE USER'S RISK AND FULL LEGAL RESPONSIBILITY.



LEGEND

- PROPERTY LIMITS
- INVENTORIED NATIVE PLANT
- PRESERVED IN PLACE
- ▽ REMOVE FROM SITE
- ◇ TRANSPLANT ON SITE
- ~~~~ ONE FOOT CONTOUR LINES



I.D.#	Botanical Name	Common Name	Caliper inches	Multi Trunk	Height Feet	In-situ Viability	Notes	Transplant Rating	Notes	PIP	TOS	Mit.
1	Prosopis velutina	Velvet Mesquite	9		18	M		M			PIP	
2	Prosopis velutina	Velvet Mesquite	18	2	20	M	recently pruned	L	sprawling			RFS
3	Celtis pallida	Desert Hackberry	18	12	16	H		L	size			RFS
4	Ferocactus wislizenii	Fishhook Barrel	0		1.5	H		H				TOS*
5	Acacia greggii	Catclaw Acacia	26	2	18	M	older	L	size			PIP
6	Acacia greggii	Catclaw Acacia	8		13	M		L	roots tangled w sumac			PIP
7	Acacia greggii	Catclaw Acacia	25	5	0	M	old mistle toe	L	root tangled size			PIP
8	Celtis pallida	Desert Hackberry	25	16	19	H		L	size			PIP
9	Prosopis velutina	Velvet Mesquite	37	4	18	M		L				PIP
10	Celtis pallida	Desert Hackberry	8	2	20	M		L	roots			PIP
11	Acacia greggii	Catclaw Acacia	8	3	0	L	mistle toe	L				PIP
12	Prosopis velutina	Velvet Mesquite	55	3	27	L	mistle toe	L				PIP
13	Prosopis velutina	Velvet Mesquite	7		17	L	dead trunk	L				PIP
14	Prosopis velutina	Velvet Mesquite	19		27	L	dying limbs mistle toe	L				PIP
15	Prosopis velutina	Velvet Mesquite	4		12	H		H				TOS
16	Cercidium floridum	Blue Palo Verde	6	3	9	H		H				TOS
17	Ferocactus wislizenii	Fishhook Barrel	0		2	H		L	in cactus pp			TOS
18	Cercidium floridum	Blue Palo Verde	30		30	L	half dead	L				RFS
19	Prosopis velutina	Velvet Mesquite	47	2	27	M		L	size			RFS
20	Prosopis velutina	Velvet Mesquite	14		17	M	old	L	size			RFS
21	Acacia greggii	Catclaw Acacia	20	4	15	M	regrow	L	sprawling			RFS
22	Cercidium floridum	Blue Palo Verde	27	3	27	M	old	L				RFS
23	Acacia constricta	Catclaw Acacia	7		13	L	dying trunk	L				RFS
24	Carnegiea gigantea	Saguaro	0		10	H		H				TOS
24	Prosopis velutina	Velvet Mesquite	50	3	27	M		L				RFS

GENERAL NOTES:

- THIS NATIVE PLANT PRESERVATION PLAN IS FOR THIS PROJECT SITE. THE NATIVE PLANT PRESERVATION METHODOLOGY IS SELECTIVE PLANT PRESERVATION. ZONING: ZONING IS CB-2
- TOTAL AREA OF PROJECT LIMITS:
 - A. GROSS ACREAGE: 3.5 ACRES
 - B. NET ACREAGE: 3.5 ACRES
- LAND USE OF SITE: RV STORAGE. ANY CHANGES IN GRADING LIMITS OR DEVELOPMENT LAYOUT MUST BE SUBMITTED TO THE PLANNING DEPARTMENT TO DETERMINE IF A REVISED PLAN WILL BE REQUIRED.
- AREA CALCULATIONS FOR THIS PROJECT:
 - A. GROSS SITE AREA: 3.5 ACRES
 - B. TOTAL AREA TO BE GRADED: 3.5 ACRES
 - C. TOTAL NATURAL OPEN SPACE: NONE ON SITE
- BUFFERYARD ELEMENTS WITHIN SITE VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- THE PLANT SELECTION AND DESIGN OF THE FUTURE DEVELOPMENT MUST BE CONSISTENT WITH THIS APPROVED LANDSCAPE PLAN.

NATIVE PLANT PRESERVATION NOTES:

- ALL AREAS WITH PLANTS DESIGNATED TO BE PRESERVED IN PLACE SHALL BE FENCED FOR PROTECTION DURING CONSTRUCTION USING A MINIMUM 4 FOOT HIGH ORANGE MESH BARRICADE FENCING. PROTECTIVE FENCING MUST REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION AND DEVELOPMENT PROCESS.
- ALL PRESERVED IN PLACE, TRANSPLANTED, AND SUPPLEMENTAL PLANTS WILL BE FENCED AT THE DRIP LINE DURING CONSTRUCTION. THE DRIP LINE FOR SAGUAROS WILL BE AT A RADIUS OF 1/4 OF THE HEIGHT OF THE PLANT. PROTECTIVE FENCING MUST REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION AND DEVELOPMENT PROCESS.
- THE ASSIGNED MONITOR MUST PROVIDE A REPORT TO THE SUBDIVISION REVIEW SECTION OF THE PLANNING DIVISION THAT THE FENCING HAS BEEN PROPERLY INSTALLED AND THAT ALL PLANT TAGS ARE IN PLACE BEFORE GRADING PERMITS CAN BE ISSUED.
- THE NORTH SIDE OF ALL SAGUARO AND BARREL CACTI APPROVED FOR TRANSPLANTING SHALL BE MARKED PRIOR TO REMOVAL TO ENSURE PROPER ORIENTATION IN THE NEW LOCATION.
- THE ASSIGNED MONITOR FOR THIS PROJECT IS: KAREN CESARE, RLA, NOVAK ENVIRONMENTAL, INC., 520-206-0591.
- THE MAINTENANCE AND IRRIGATION METHOD AND SYSTEM USED FOR THE TEMPORARY NURSERY IS DRIP IRRIGATION.
- MISTLETOE INFECTIONS WILL BE REMOVED FROM SPECIMENS BEFORE TRANSPLANTING.

P.I.P. CREDIT CALCULATIONS

	Saguaro	Saguaro	Other Cacti >=4" D or 4" H	Ironwood	Ironwood	Trees	Trees	Ocotillo	Yuccas	Shrubs	Totals
Ratio	6'-10" H 2:1	>10" H 3:1	>=4" D or 4" H 2:1	6" - 12" C 2:1	>12" C 3:1	6-12" C 2:1	>12" C 3:1	>=6" H 2:1	>=4" H 2:1	>4" H 2:1	
Trees	Acacia greggii					2	2				10
	Prosopis velutina					2	3				13
Shrubs	Celtis pallida									1	2
Cacti											
Succulents											

MITIGATION CALCULATIONS

	T.O.S.	Supplements (varies)	Mitigation	Replacement (varies)	PP Credits	Net Mitigation	SIZE
Trees	Cercidium floridum	1	2	1	3	0	(4) 15-gal (1) 24" box (3) 15-gal
	Prosopis velutina	1	2	4	12	13	(4) 24" box
Shrubs							
Cacti	<6" (saguaro)	>=6" (saguaro)					(0) >2' from site. (2) >=4' from nursery (1) from site. (0) >=4" H or D
	Carnegiea gigantea	0	1	2	0	0	2
	Ferocactus wislizenii	1	1	0	0	0	1

INVENTORY TOTALS

	Qty Inventoried	Total Viables	P.I.P.	T.O.S.	TOS*	Mit.	Required PIP or TOS	Provided PIP or TOS (%)	Provided PIP or TOS (%)
Trees									
	Acacia constricta	1	0	0	0	0	0	50%	0%
	Acacia greggii	5	4	3	0	0	1	2	75%
	Cercidium floridum	3	2	0	1	0	1	1	50%
	Prosopis velutina	10	7	2	1	0	4	4	43%
sub-total		19	13	5	2	0	6	7	
Shrubs									
	Celtis pallida	2	2	1	0	0	1	1	50%
sub-total		2	2	1	0	0	1	1	
Cacti									
	Carnegiea gigantea	1	1	0	1	0	0	1	100%
	Ferocactus wislizenii	2	2	0	1	1	0	1	100%
sub-total		3	3	0	2	1	0	2	
Succulents									
sub-total		0	0	0	0	0	0	0	
Totals		24	18	6	4	1	7	10	11

OWNER/DEVELOPER:
King Cone, LLC
Attn: Claire and Larry Klingler
3900 W. Moore Road
Tucson, AZ 85742

P16RZ00009
ADDRESS: 15605 N. ORACLE ROAD CATALINA, AZ

THIS PLAN IS FOR GOVERNMENT REVIEW ONLY. NOT FOR CONSTRUCTION.



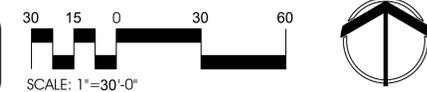
Novak Environmental, Inc.
4574 North First Avenue #100 • Tucson, AZ 85718
Phone 520.206.0591 Fax 520.882.3006

**DEVELOPMENT PACKAGE
NATIVE PLANT PRESERVATION PLAN
NORTHWEST TUCSON STORAGE**
A PORTION OF THE NORTHWEST QUATER OF SECTION 9
TOWNSHIP 11 SOUTH, RANGE 14 EAST,
GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, AZ

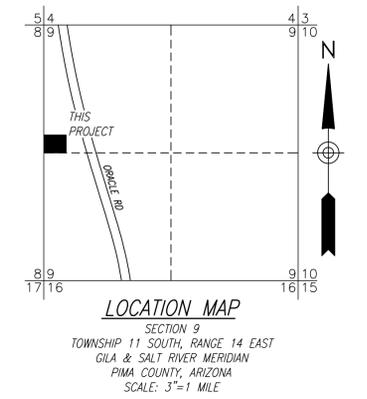
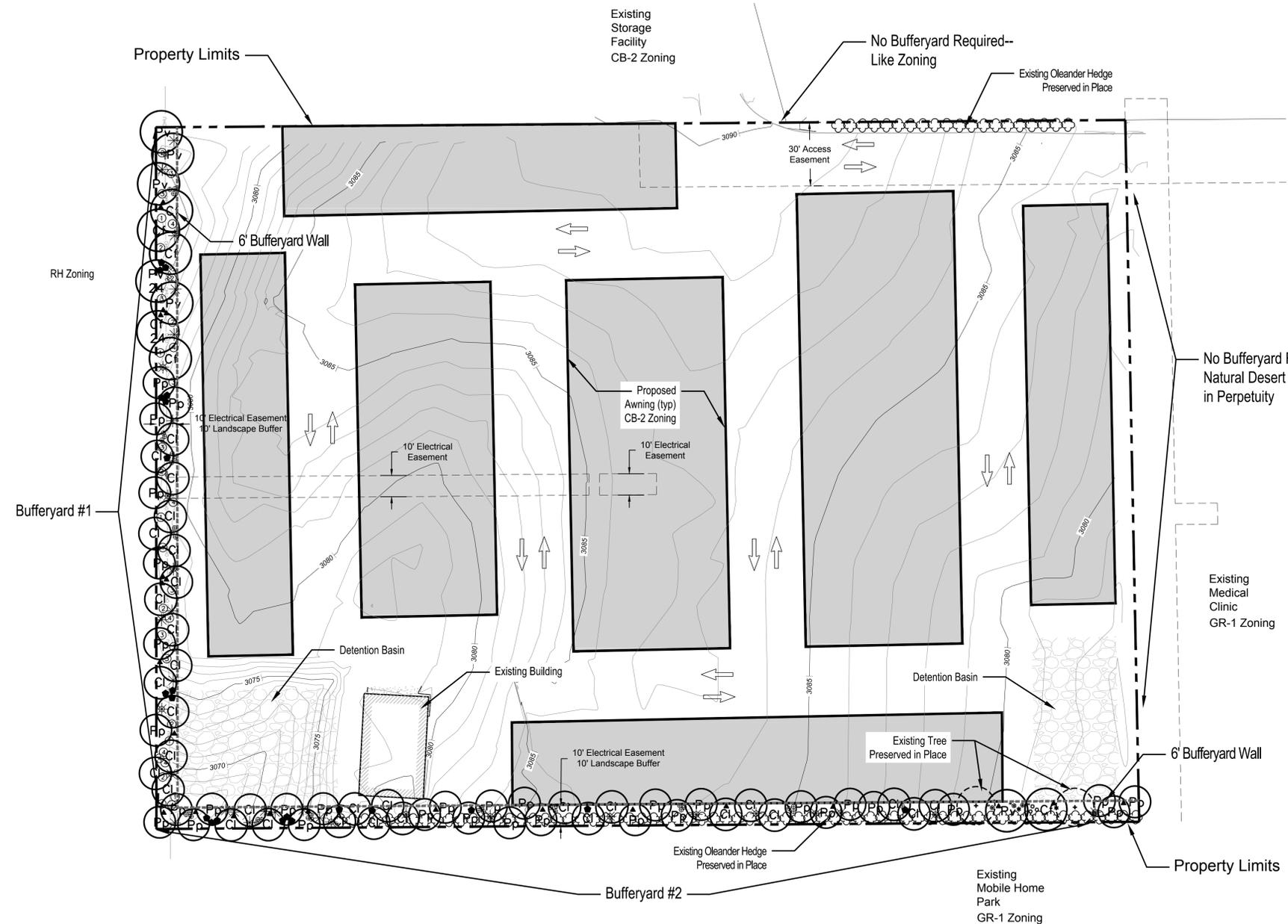
NO.	REVISION	DATE

DESIGNED: CJL	DRAWN: CJL	CHECKED: K.M.C.	SHEET NPP0-1
DATE: 10/11/16	PROJECT NO.: 16006	SCALE: 1"=30'-0"	6 OF 7

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



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PLANT KEY

Botanical Name	Common Name	Size	Quantity	Comments
Trees:				
Cercidium floridum	Blue Palo Verde	24" Box	1	1 Required
Cercidium floridum	Blue Palo Verde	Transplant	1	1 Required
Cercidium floridum	Blue Palo Verde	15 Gallon	4	4 Required
Chilopsis linearis	Desert Willow	15 Gallon	32	Multi-trunk
Prosopis pubescens	Screwbean Mesquite	15 Gallon	33	1 Required
Prosopis velutina	Velvet Mesquite	24" Box	1	1 Required
Prosopis velutina	Velvet Mesquite	Transplant	1	1 Required
Prosopis velutina	Velvet Mesquite	15 Gallon	4	0 Required
Shrubs:				
Asclepias linaria	Pineleaf Milkweed	5 Gallon	8	.
Calliandra eriophylla	Fairy Duster	5 Gallon	8	.
Dalea pulchra	Indigo Bush	1 Gallon	8	.
Encelia farinosa	Brittlebush	1 Gallon	8	.
Accents/Flowers:				
Asclepias subulata	Desert Milkweed	5 Gallon	17	.
Baileya multiradiata	Desert Marigold	1 Gallon	21	.
Carnegiea gigantea	Saguaro	Transplant	1	1 Required
Carnegiea gigantea	Saguaro	5' Spear	2	2 Required
Dalea greggii	Trailing Indigo Bush	1 Gallon	23	.
Euphorbia antisiphilitica	Candelilla	1 Gallon	34	.
Ferocactus wislizenii	Fishhook Barrel	Transplant	2	1 Required
Ferocactus wislizenii	Fishhook Barrel	5 Gallon	1	1 Required
Maurandya antirrhiniflora	Snapdragon Vine	1 Gallon	15	.

Bufferyard #1
 Length: 321' Width: 10'
 Bufferyard D
 Trees Required: 32
 Trees Provided: 32
 Shrubs Required: 32
 Shrubs Provided: 32
 Accents/Flowers Required: 48
 Accents/Flowers Provided: 48
 6' Bufferyard Wall

Bufferyard #2
 Length: 465' Width: 10'
 Bufferyard D
 Trees Required: 47
 Trees Provided: 47
 Shrubs Required: 47
 Shrubs Provided: 47 +/-
 (Existing Oleander Hedge Will Be Preserved and Provides Required Shrubs)
 Accents/Flowers Required: 70
 Accents/Flowers Provided: 70
 6' Bufferyard Wall

LANDSCAPE NOTES

- ZONING:** Proposed zoning for subject property is CB-2. The total area of the project is approximately 3.5 acres. Proposed use of this project is covered RV parking.
- FINISH GRADING:** Finish grading of the landscape areas around the base of each tree and shrub shall be depressed from existing ground level to enhance moisture storage for the plant.
- IRRIGATION:** The landscape will be irrigated by a temporary underground drip irrigation system operated by automatic controller. This system will be operated for three years to establish the landscape plantings. All proposed plants are native to southern Arizona and will survive without irrigation after establishment. Irrigation should be tapered off slowly after the first year of operation.
- SITE VISIBILITY TRIANGLES:** materials within site visibility triangles shall be placed so as not to interfere with visibility sight lines described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- MAINTENANCE:** All required landscaping, irrigation systems, walls, screening devices, curbing and detention basin landscape improvements on the site shall be maintained as shown on approved plans. The owner will be responsible for proper maintenance to achieve permanent, safe, and successful landscaping.
- WALLS:** Required or proposed masonry screen walls shall be constructed of or painted with, graffiti resistant materials.
- TREE PLANTERS:** Tree planters in the vehicular use area shall be to Pima County standards.
- FENCING:** Existing plants to be preserved in place and areas designated to remain undisturbed shall be fenced prior to construction per Pima County requirements. The area to be fenced shall be beyond the drip-line of the vegetation by one-half (1/2) the distance of the drip-line radius. For saguaros and cacti, the area to be fenced shall be equal to the distance of one-half (1/2) the height of the plant.
- In the event that utility or easement holder damages or destroys plant materials, landscape or bufferyard elements as shown on the approved landscape plan, then the re-establishment, re-vegetation, irrigation, and maintenance of this area will be the responsibility of the Owner.

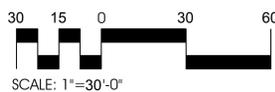
LEGEND

- PROPERTY LIMITS
- 6' MASONRY BLOCK WALL
- ONE FOOT CONTOUR LINES

OWNER/DEVELOPER:
 King Cone, LLC
 Attn: Claire and Larry Klingler
 3900 W. Moore Road
 Tucson, AZ 85742

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CALL TWO WORKING DAYS BEFORE YOU DIG
 602-263-1100
 1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)



P16RZ00009
 ADDRESS: 15605 N. ORACLE ROAD CATALINA, AZ

Novak Environmental, Inc.
 4574 North First Avenue #100 • Tucson, AZ 85718
 Phone 520.206.0591 Fax 520.882.3006

Landscape Architecture • Natural Resources • Planning • Mitigation

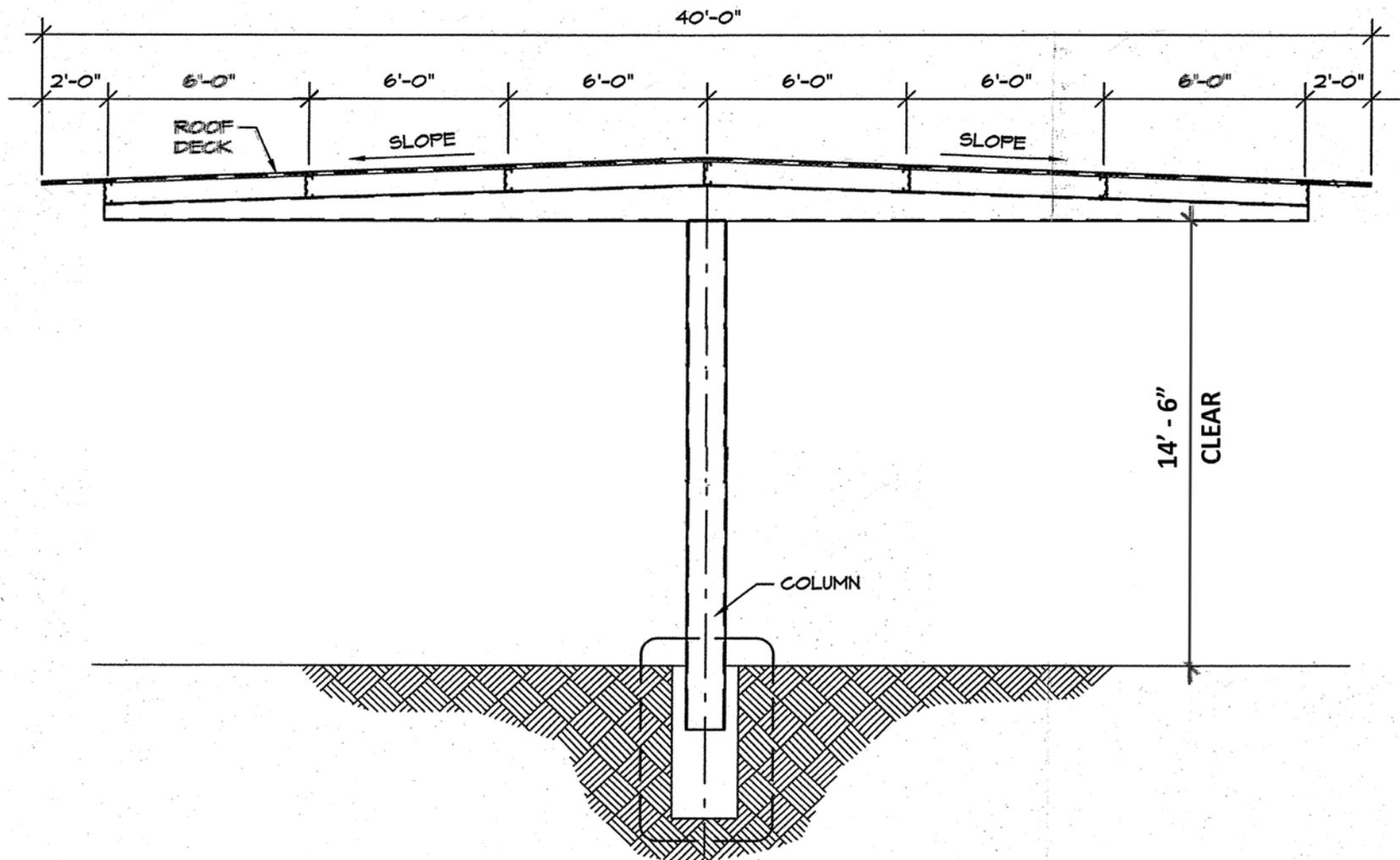
DEVELOPMENT PACKAGE LANDSCAPE PLAN

NORTHWEST TUCSON STORAGE
 A PORTION OF THE NORTHWEST QUARTER OF SECTION 9
 TOWNSHIP 11 SOUTH, RANGE 14 EAST,
 GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, AZ

NO.	REVISION	DATE

DESIGNED: CJL	DRAWN: CJL	CHECKED: K.M.C.	SHEET LS-1
DATE: 10/11/16	PROJECT NO.: 16006	SCALE: 1"=30'-0"	7 OF 7

Shade Awning Elevation: Tucson Northwest Storage



N.T.S
Pima County Design Review Committee
March 8, 2017



**Urban
Engineering**

Updated: 02/21/2017
U/E: 15081
IW

Typical Awning – 15' in height, beige in color



Paint Palette for Tucson Northwest Storage Shade Awning

Original Paint Selection

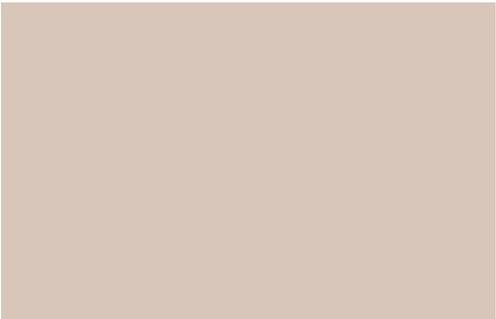


BEHR Paint
Plateau PPU4-8
LRV: 57.58

Alternative Paint Selections



BEHR Paint
Canyon Dusk S210-4
LRV: 37.12



BEHR Paint
Suede Beige MQ3-38
LRV: 39.03



BEHR Paint
Rugged Tan
LRV: 38.08

TUCSON NORTHWEST STORAGE

Design Review Committee

U/E: 15081

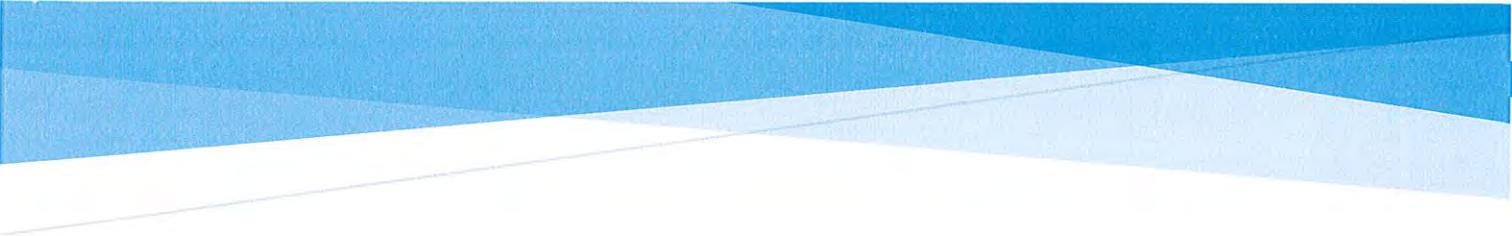
2017

Owners: Claire and Larry Klingler



Prepared by: **Urban Engineering, Inc.**

877 S. Alvernon Way #200, Tucson, Arizona 85711 (520) 318-3800



TUCSON NORTHWEST STORAGE

Design Review Committee

Owners: Claire and Larry Klingler

Contact Person: David Williams, AICP
877 South Alvernon Way Tucson, Arizona 85711 (520) 318-3800
dwilliams@urbanengineering.com

Table of Contents

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I-A Design Review Committee Application



Pima County Development Services Department
Planning Division
201 N. Stone, 2nd Floor, Tucson, Arizona 85701 Phone: 520-724-9000

DESIGN REVIEW COMMITTEE APPLICATION

Owner Claire and Larry Klingler Phone (520) 909-1915
Applicant David A. Williams Vice President, Urban Engineering Phone (520) 318-3800
Applicant's Address 877 S Alvernon Way Zip 85711
Tax Code number(s) 222-21-0600, 222-21-0610, and 222-21-0650 Fax#
Email address dwilliams@urbanengineering.com
Site/Project Address: 15605 N Oracle Rd Catalina, AZ 85739 Existing Zoning : CB-2
Project Name and Cross-reference case and permit activity numbers Tucson Northwest Storage
P16RZ00009 and P16SC00068

Table with 3 columns: Check 1 request per application, Section, and Action requested by applicant. Lists various zoning categories and their corresponding actions.

**Refer to the appropriate Chapters within the Pima County Zoning Code and applicable DRC guidelines for details on procedures and requirements. All DRC requests require: 1) a pre-application meeting; 2) a first submittal; 3) a complete submittal required for all DRC requests. A request is not placed on a DRC meeting agenda until Staff confirms it to be a complete submittal. See the attached submittal deadlines and DRC meeting dates. **

Applicant signature _____ Date _____



I-B Letter of Authorization

February 3, 2017

Mr. Chris Poirier
Pima County Development Services
201 N. Stone Avenue, 2nd Floor
Tucson, AZ 85701-1317

**RE: DESIGN REVIEW PROCESS
TUCSON NORTHWEST STORAGE
LETTER OF AUTHORIZATION**

Dear Mr. Poirier,

This letter authorizes Urban Engineering, Inc. to act as my representative for the processing of the request indicated above. All correspondence pertaining to this request should be directed to:

Urban Engineering, Inc.
877 S. Alvernon Way Suite 200
Tucson, Arizona 85711
(520) 318-3800

Thank you for your cooperation in this matter.

Sincerely,

King Cone, LLC

Larry Klingler,
Managing Member

Claire Klingler
Managing Member



I-C Letter of Request/Summary
See Attached.



Part II: Supporting Documents

II-A Preliminary Development Plan or Site Plan

The site plan for the project has been included as a separate document.

II-B Landscape Plan

The landscape plan for the project has been included as a separate document.



II-C Color Palette w/LRV

No color palette has been included as no buildings are planned for the site. Shade awnings are typically beige in color. Photos are included in the Photo section.

II-D Color Rendering/Architectural Elevations

No buildings are included in the proposed development. Photos of the shade awnings to be constructed over a portion of the site are included in the Photo section.



II-E Aerial Photo



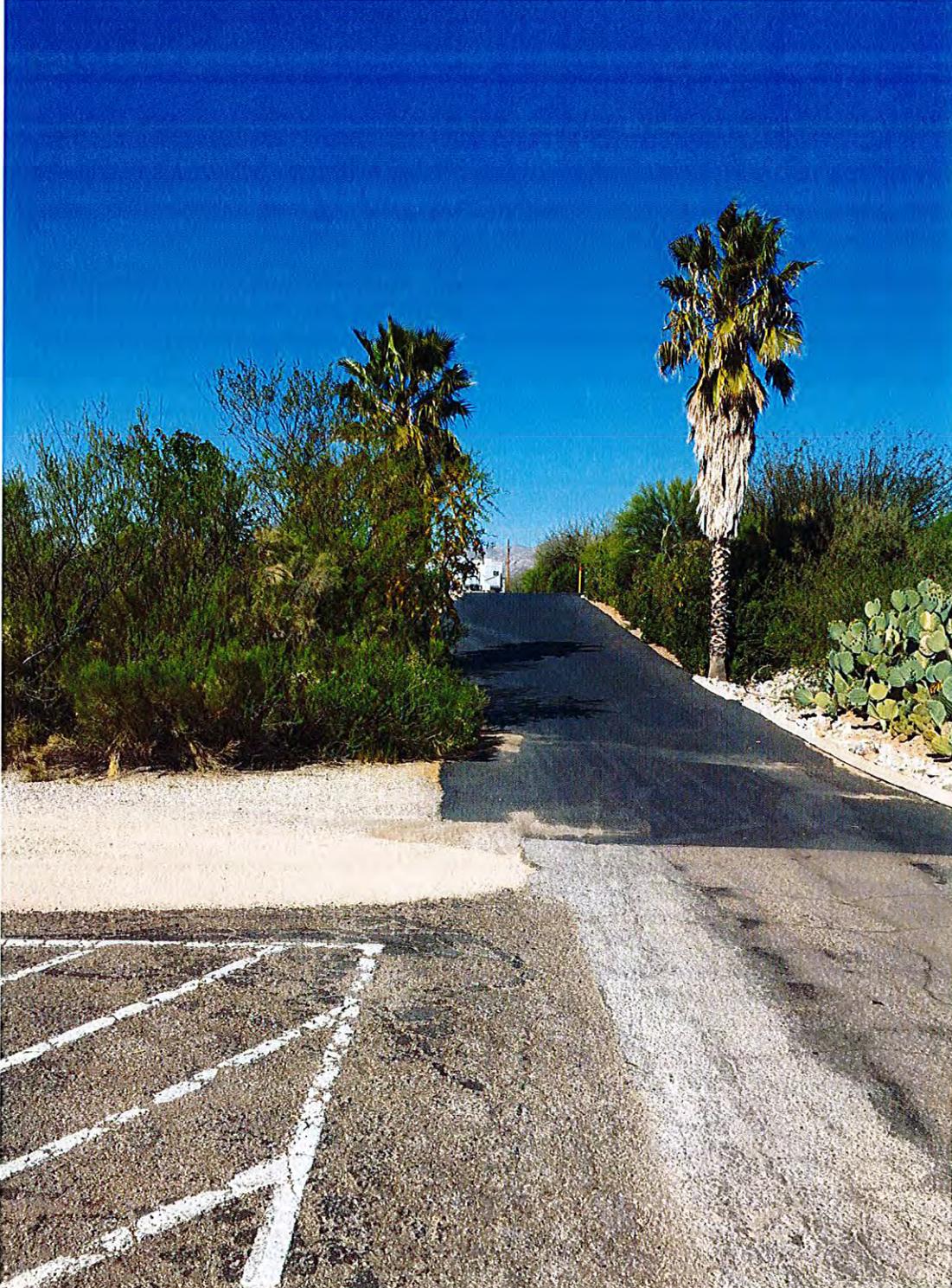
Context Map:



Site Map:

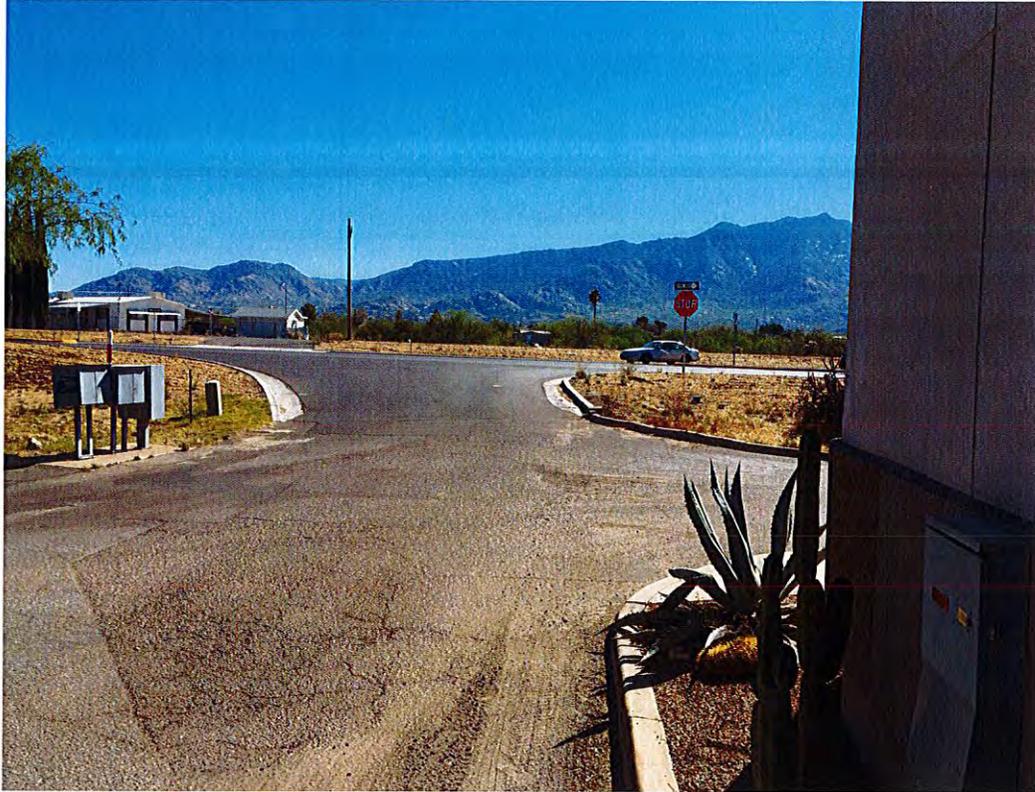
II-F Additional photos

Looking west toward site from near Oracle Road





Access Drive intersection with Oracle Road





Typical Awnings- 15' in height, beige in color



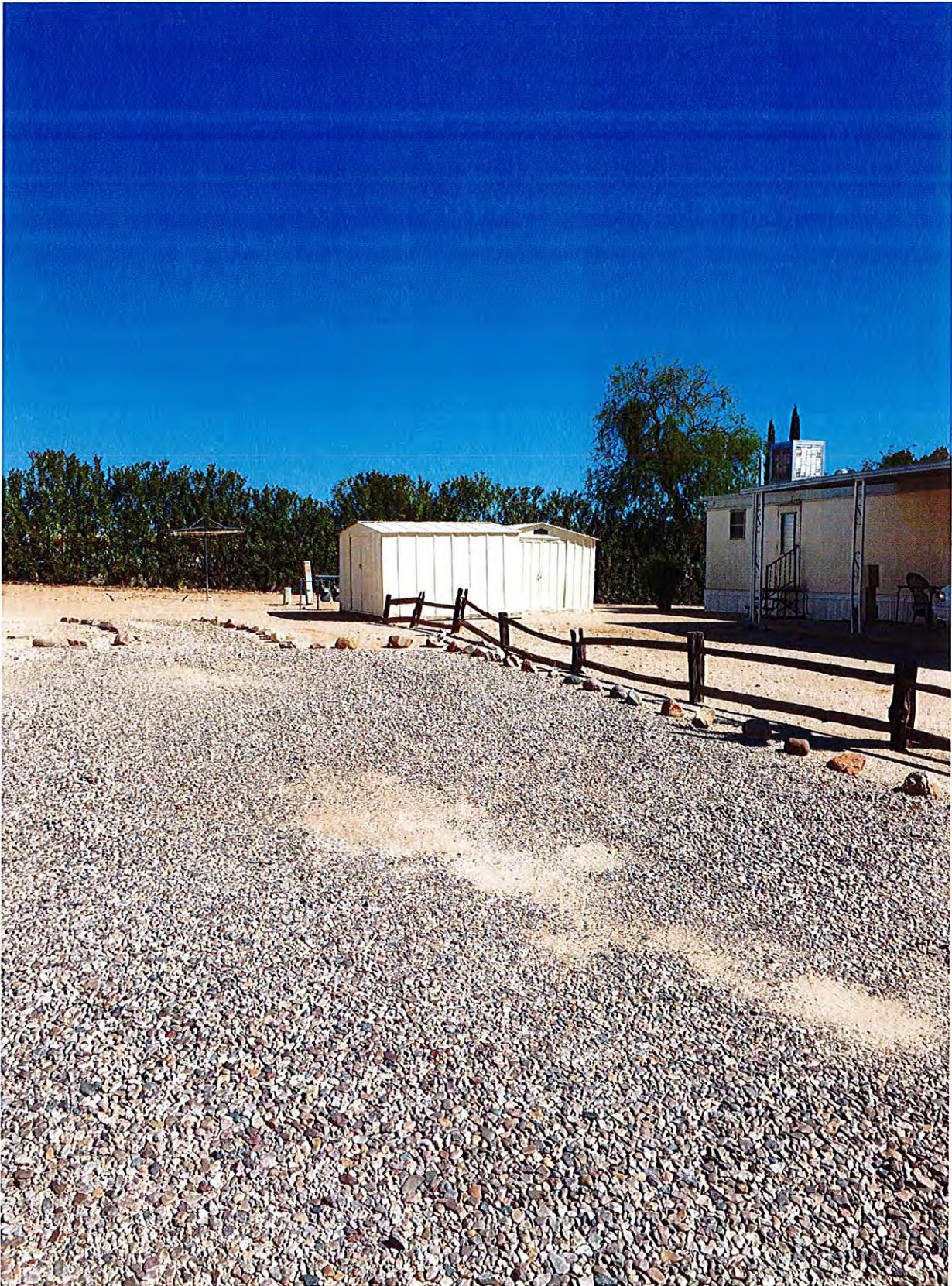
Existing Oleander Hedge along the south Property Line of the Site, looking west



Existing Dense Vegetation at the southeast corner of the Site, looking west



Existing Oleander Hedge along South Property Line (from adjacent mobile home park)



Existing Dense Vegetation along the East Property Line

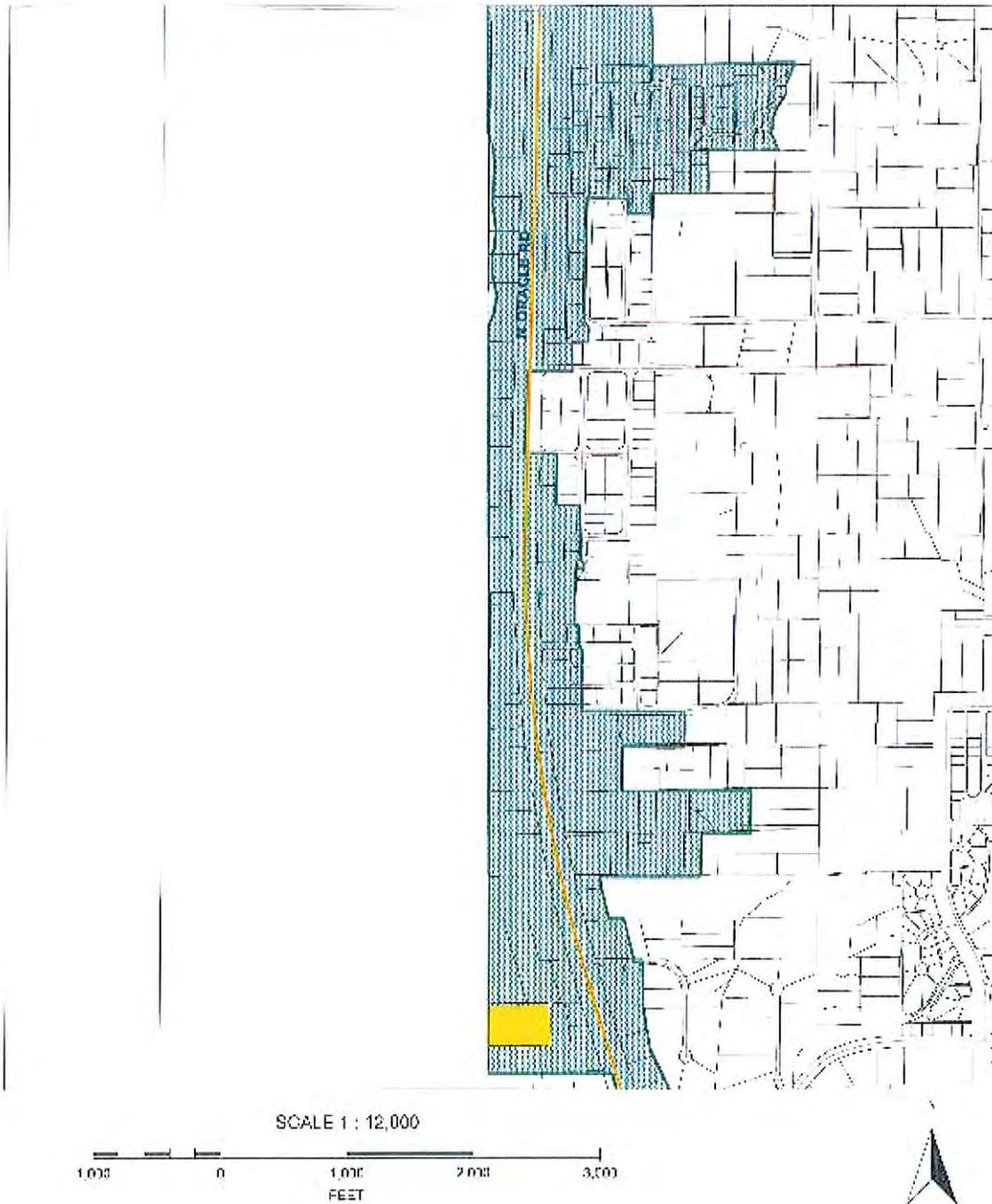






Subject Property and the Gateway Overlay Zone- Site is not visible from Oracle Rd.

Gateway Overlay Zone- No Visual Impact





II-G Neighborhood meeting notes



August 30, 2016

Dear Neighbors,

Urban Engineering is representing Claire and Larry Klingler in the rezoning and development of 3.54 acres. The site is located about 260 feet west of Oracle Road behind the Golf Cars of Arizona, across from and south of Lupine Place (please see attached map). The requested zoning change is SH (Suburban Homestead) to CB-2 (General Business) to allow for recreational vehicle storage similar to the property immediately to the north.

A neighborhood meeting is being held on **September 13th, 2016 at 6pm** to present information and answer questions about the project. The meeting will take place at **15631 North Oracle Road** (First Plaza Storage Offices). Detailed information will be provided for your review and we will be present to answer your questions about the project.

The project is scheduled for a public hearing with The Planning and Zoning Commission on September 28th, 2016 at 9am in the Board of Supervisors Hearing Room, Pima County Administration Building, 130 West Congress Street, 1st floor, Tucson, Arizona 85701. Pima County will also be sending out an additional notice of this hearing in the near future.

We are happy to meet with you and discuss the project. If you have any questions or concerns, please feel free in contacting me at (520) 318-3800 or dwilliams@urbanengineering.com.

Sincerely,

David A. Williams, AICP
Vice President Planning / Project Manager
Urban Engineering
877 South Alvernon Way
Tucson, AZ 85711
(520) 318-3800
dwilliams@urbanengineering.com

Planning

Engineering

Surveying

877 S. Alvernon Way

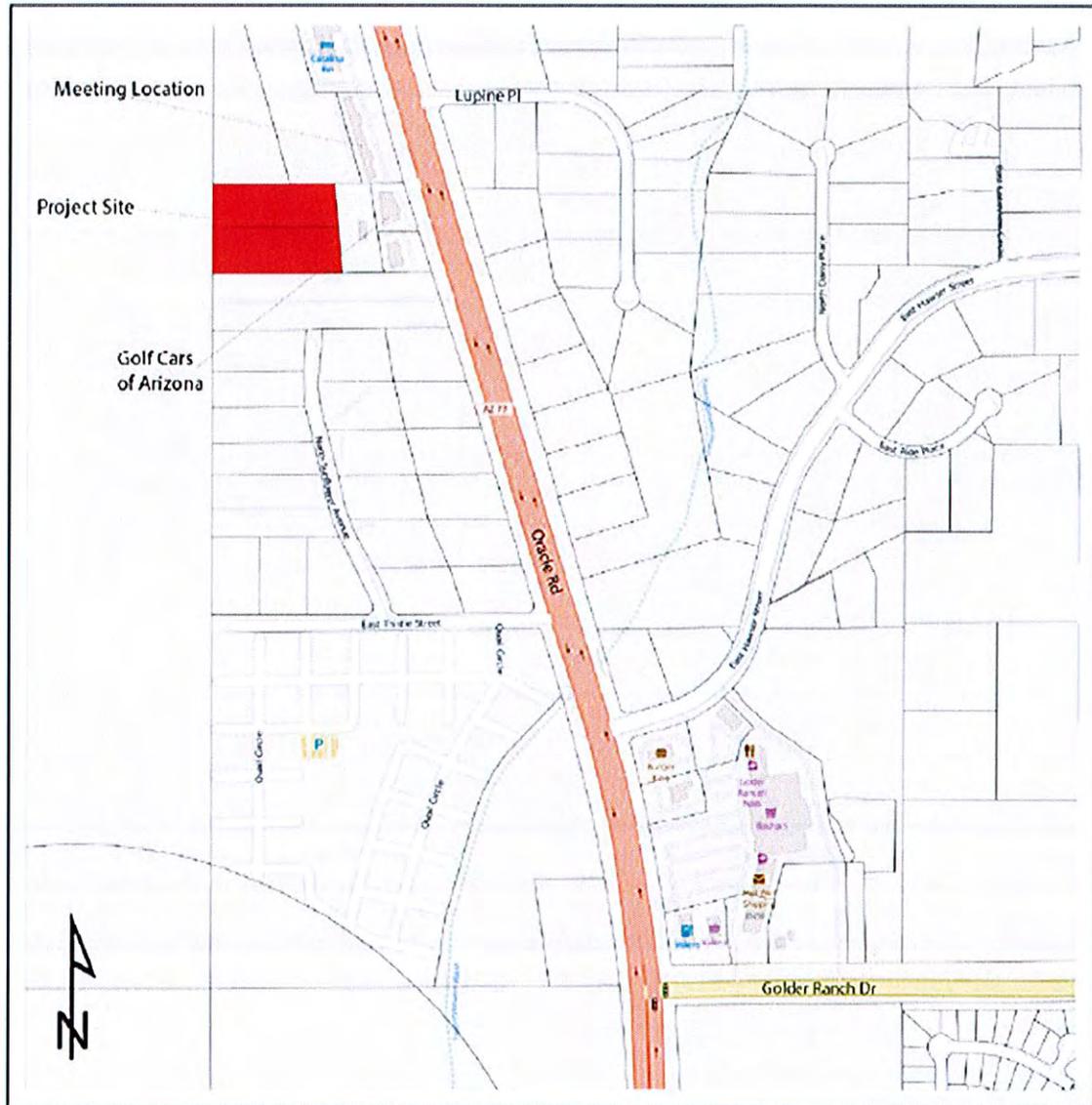
Tucson, AZ 85711

Phone 520.318.3800

FAX 520.318.3808



Project Site Context and Meeting Location Map





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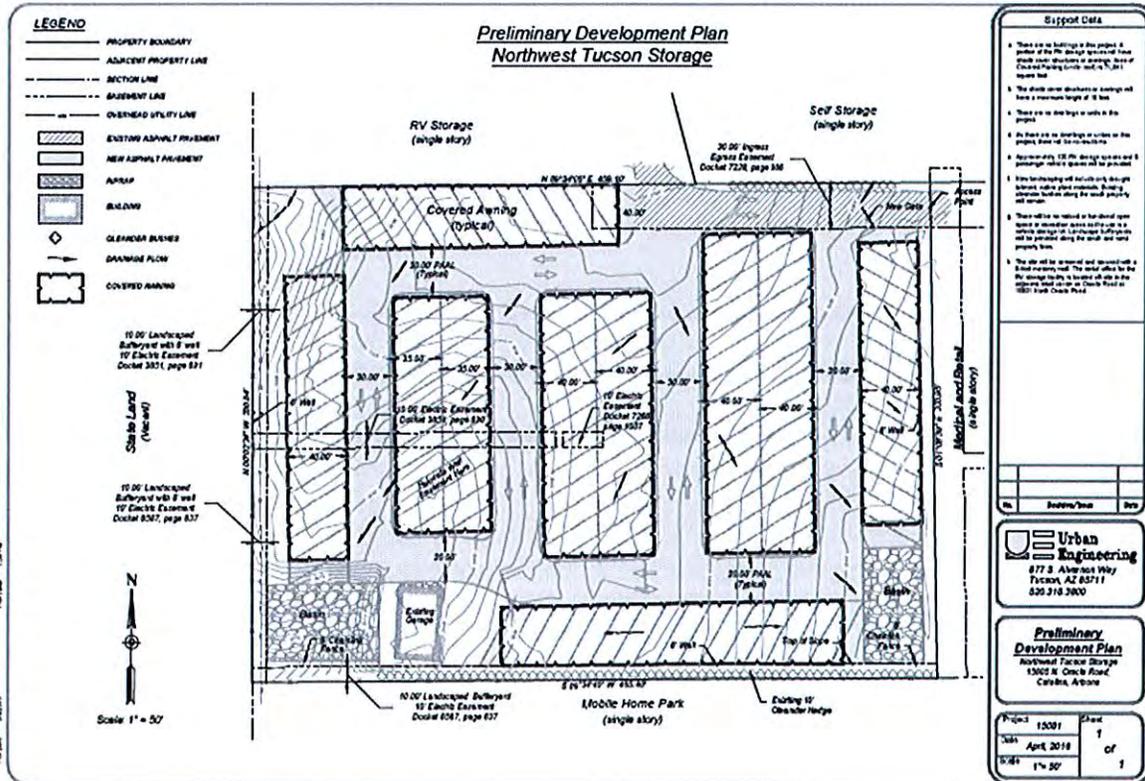
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Project Fact Sheet

Project Name: Tucson Northwest Storage
 Owners: Claire and Larry Klingler
 Date: September 13, 2016
 Area: 3.54 Acres
 Proposed Use: Recreational Vehicle Storage Facility
 Zoning Change: SH (Suburban Homestead) to CB-2 (General Business)





Tucson Northwest Storage Rezoning

Case # P16RZ00009

September 19, 2016

Neighborhood Meeting Summary Notes

Planning

Engineering

Surveying

Meeting Date: September 13, 2016

Location: First Plaza Storage Offices, 15631 N. Oracle Road

Time: 6:00 p.m.

Conducted By: Urban Engineering of Tucson (David Williams and Ian Wan)

Attendees were provided a project fact sheet with contact information. Exhibits showing the site and neighboring properties and the Preliminary Development Plan, along with copies of the Site Analysis for the project were available for review during the meeting.

The meeting was attended by the owners of the property, Claire and Larry Klingler.

The meeting was attended by one member of the public.

Discussion items at the meeting related to development of the property for RV Storage use included:

- Safety lighting and light trespass onto the property to the south, dark sky preservation,
- Height of proposed shade awnings of 15 feet; site is also higher than property to the south,
- Conservation of a couple mature mesquite trees in the southeast area of the site,
- Some runoff issues exist today, the development of the site should improve drainage conditions for the property to the south,
- Maintenance of the irrigation system along the south property line is important to prevent erosion on the property to the south,
- The commercial building east of the site has a retention basin that functions well.

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The meeting concluded at approximately 7:00 p.m.



**Tucson Northwest Storage
Neighborhood Meeting**

September 13, 2016

Name	Address	Contact Information
Richard Arnold	15555 N. Oracle #1 Tucson, AZ 85739	825-9835